

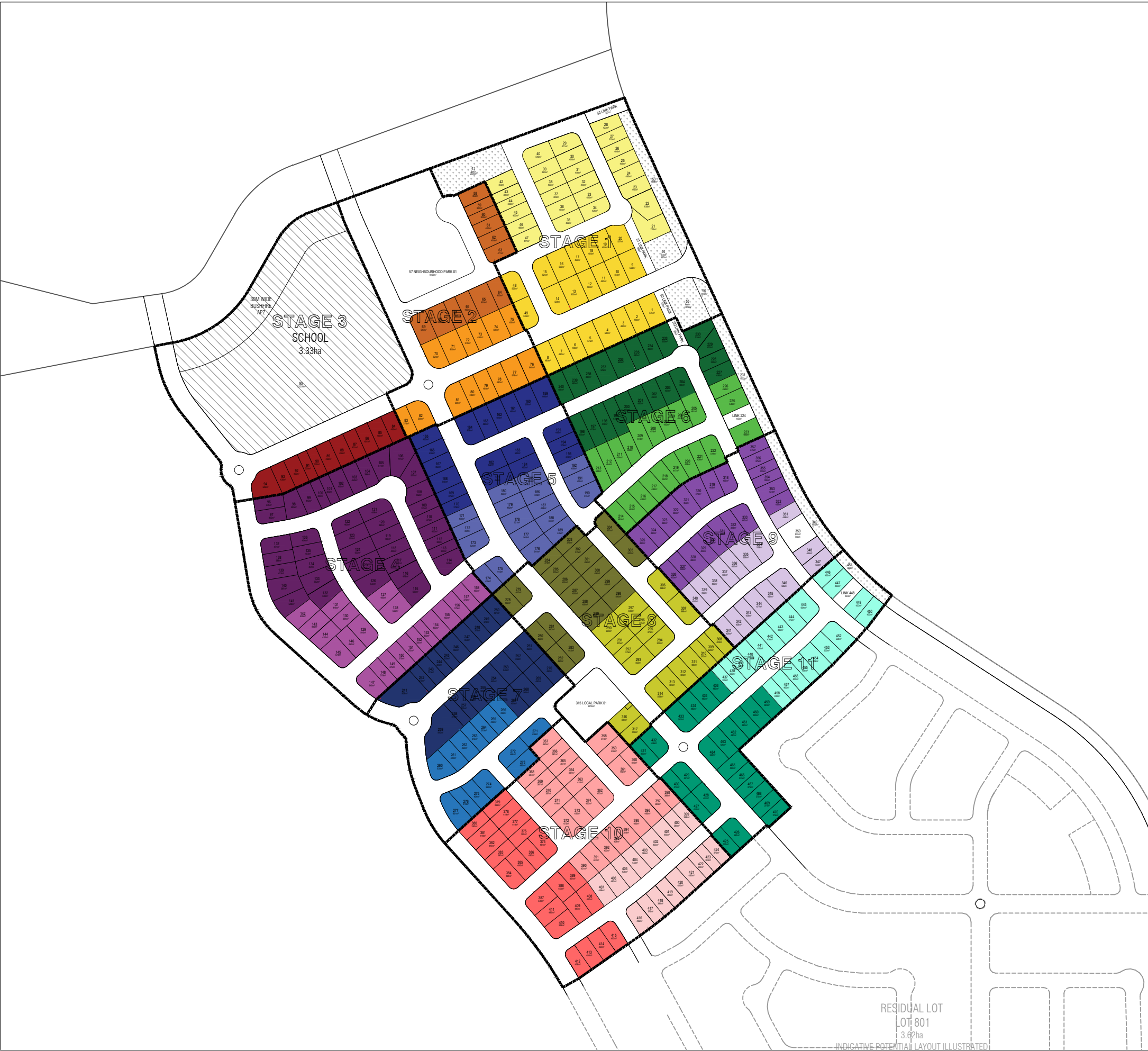
PLAN OF DEVELOPMENT | DESIGN CONFIGURATIONS

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		STAGE 11: LOTS 437-447; 449-450; 452-458;	DA 11.02

LEDA





LEGEND		
<div></div>	DA 01.01 - Stage 1A	Lots 1-20; 48-49;
<div></div>	DA 01.02 - Stage 1B	Lots 21-40; 42-47;
<div></div>	DA 02.01 - Stage 2A	Lots 58-69;
<div></div>	DA 02.02 - Stage 2B	Lots 70-83;
<div></div>	DA 03.01 - Stage 3A	Lots 84-94;
<div></div>	DA 04.01 - Stage 4A	Lots 96-126; 132-141;
<div></div>	DA 04.02 - Stage 4B	Lots 127-131; 142-158;
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<div></div>	DA 05.02 - Stage 5B	Lots 171-180; 158-192;
<div></div>	DA 06.01 - Stage 6A	Lots 196-204; 227-230; 233-240;
<div></div>	DA 06.02 - Stage 6B	Lots 205-223; 226;
<div></div>	DA 07.01 - Stage 7A	Lots 241-259; 267-270;
<div></div>	DA 07.02 - Stage 7B	Lots 260-266; 271-277;
<div></div>	DA 08.01 - Stage 8A	Lots 278-289; 298-305;
<div></div>	DA 08.02 - Stage 8B	Lots 290-297; 306-314; 316-317;
<div></div>	DA 09.01 - Stage 9A	Lots 318-333; 351-357;
<div></div>	DA 09.02 - Stage 9B	Lots 334-348;
<div></div>	DA 10.01 - Stage 10A	Lots 375-389; 408-415;
<div></div>	DA 10.02 - Stage 10B	Lots 358-374; 390-398;
<div></div>	DA 10.03 - Stage 10C	Lots 399-407; 416-424;
<div></div>	DA 11.01 - Stage 11A	Lots 425-436; 459-470;
<div></div>	DA 11.02 - Stage 11B	Lots 437-447; 449-450; 452-458;
<div></div>	Stage Boundary	

PLAN OF DEVELOPMENT: STAGE & PLAN LOCATION DIAGRAM

SCALE: 1:4000@A3 | DA 00.02

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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LEGEND

Drive Way Place

Zero-Lot Dwellings

Traditional Detached Dwellings

Plex Dwelling

PLAN OF DEVELOPMENT: CODE LOCATION DIAGRAM

SCALE: 1:4000 @ A3| DA 00.03

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
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LEGEND

Garage Location - Type 1: Plex-Dwelling

Garage Location - Type 2: Zero-Lot Dwelling

Garage Location - Type3: Traditional Detached Dwelling

Public Open Space

PLAN OF DEVELOPMENT: DRIVEWAY LOCATIONS PLAN

SCALE: 1:4000@A3 | DA 00.04

DRAWN: ZP/CC

ISSUE: B

CHECKED: BS

CLIENT: LEDA DEVELOPMENTS

DATE: NOVEMBER 2017



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GENERAL NOTES:

- Existing features and lot areas shown are design only and may change where accepted by Council.
- This drawing must be read in conjunction with the approved Cobaki Estate Development Code, Cobaki Design Guidelines and Landscape Master Plan. In the case of conflict with this document and these controls, the Code takes precedence, except in unique circumstances wherein the solution herein is an alternative based on merit. Variations to the Plan of Development and Code, for a lot, may be proposed by a proponent based on merit and must be approved by the Design Reviews Panel. All building envelopes shown on a parameter plan conform to the setbacks as detailed the Development Code and tabulated on the chart below. Any variation to the the POD or development code will require approval from Council through a development application process.

HEIGHT

All dwellings have a maximum height of 2 storeys unless specifically noted as Single Storey 'S' or Three storeys '3'.

FLOODING & FINISHED FLOOR LEVEL

All allotments must be filled to the minimum Q100 flood level and finished floor levels shall be a minimum of 500mm above this flood level. For Lots 22-40, 42-47, 58-63 the Q100 Flood Level is RL3.4m AHD and the minimum finished floor level is RL3.9m AHD. For all other lots the Q100 flood level is RL2.9m and the minimum finished floor level is RL3.4m AHD.

LANDSCAPING

Landscaping in front of the building shall have regard to and be reflective of the Landscape Master Plan Precinct planting schedule.

DRIVEWAY

Driveway width is limited to 4.5m at the kerb for Plex Dwelling where a shared driveway is proposed and 4m for all other dwellings/ driveways. Provide landscape planting of 0.9m (or 0.3m for built-to-boudary garages) minimum width between the driveway and the nearest adjacent lot boundary. Landscaping shall be designed such as not to impact upon the required 2m sight triangle i.e low planting (max mature height of 600mm) or clear trunk plantings of 3m height at time of plantings.

BUSHFIRE

Lots 1, 9, 20, 21-40, 42-47, 58-63, 204, 205, 227-230, 222-223, 225-226, 233, 318, 333, 334, 346-348, 351-357, 445-447, 449-450, 452; These lots have been identified on the Cobaki BAL Plan dated 11.24.2016 Version 2 as having requirements under AS3959-Construction of buildings in bushfire-prone areas. BAL rating for these lots have been identified within this document. Required actions to be undertaken by lot owner. Refer AS3959-Construction of buildings in bushfire-prone areas for information.

ACOUSTIC FENCING

For lots 21- 28, 223, 225-230, 351-357, 347-348, 446-447, 449-450; an acoustic fence occurs within these lots to attenuate noise from Cobaki Parkway as identified in the 11 October 2017 Report Rev 4.

BEDROOM

All dwellings are to be constructed to have a minimum of three bedrooms.

SINGLE STOREY DWELLINGS

S - For any allotment which shares both side boundaries with a lot with frontages equal to and less than 12.5m, only single storey dwellings may be constructed. The affected lots are 243-244, 355-356, 365, 369, 418, 423-424, 438, 456-457,467-469.

FENCING

- Fencing behind the frontage building line on a boundary shared with another residential lot is referred to as shared boundary fencing and shall be: Solid fencing, and constructed with a raked top profile following the profile of the ground level(existing), and a maximum height of 1.8 meters including the height of any retaining walls, as measured from ground level (existing), with a tolerance of +/- 0.3m in the case of a sloping lot.
- If fencing is solid masonry and incorporates the retaining of fill (maximum 0.6m), the height of the solid fence above Ground Level (existing)may be increased by 0.3m.
- 100% Light weight Pool type fencing is not permitted unless in combination with masonry pillars and base, use of shade cloth or similar attached fences is not permitted.

FENCING CONTROLS

FENCING CONTROLS	SETBACK FROM THE BOUNDARY	MIN. & MAX. HEIGHTS ABOVE GROUND LEVEL (EXISTING)*	TYPE/S OF FENCE PERMITTED	EXTENT PERMITTED TO BOUNDARY	OTHER REQUIREMENTS OR NOTES
Fencing to a Primary Road frontage not providing privacy for a POS	A minimum of 0.5m	0.6m minimum and 0.9m maximum	Solid Masonry, or a combination of Solid Masonry and Transparent or Transparent or Translucent	A maximum of 50% of the total length of the frontage boundary (including any gates)	Landscape planting is required between the frontage boundary and the fence
Fencing to a Primary or Secondary Road frontage providing privacy for a POS	A minimum of 0.5m	1.5m generally but up to 1.8m in limited portions to address topography considerations	A combination of 30% maximum solid masonry and Transparent, or Transparent or Translucent	A maximum of 50% of the total length of the frontage boundary (including any gates)	Landscape planting is required between the frontage boundary and the fence
Fencing to a Secondary Road frontage of a corner lot not providing privacy for a POS	A minimum of 0.5m	1.5m generally but up to 1.8m in limited portions to address topography considerations	Solid Masonry, or a combination of 30% maximum Solid Masonry and Transparent, or Transparent or Translucent	A maximum of 50% of the total length of the frontage boundary(including any gates)	Landscape planting is required between the frontage boundary and the fence
Fencing to Private Lot / Public Open Space	Required to be installed within the private lot.	1.2m in height	50% transparent	Required to extent of boundary to the front building line	Fence is to be maintained and is responsibility of private owner.
Acoustic Fencing Type 1	Required to be installed within the private lot.	Recommended 2.35m in height	Typical Acoustic Barrier Materials. Must have a minimum surface mass of 11kg/m²	As shown on CMP Plans and Acoustic Report	Fence is to be maintained and is responsibility of private owner.
Acoustic Fencing Type 2	Required to be installed within the private lot.	Recommended 1.8m in height	Typical Acoustic Barrier Materials. Must have a minimum surface mass of 11kg/m²	As shown on CMP Plans and Acoustic Report	Fence is to be maintained and is responsibility of private owner.





LEGEND

TD

Garage Location

PH

Garage Location

ZL

Garage Location

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

TD

Gnd Flr BE

PH

Gnd Flr BE

ZL

Gnd Flr BE

Private Open Space (POS)

Driveway Access

Articulate zone

1st Flr BE

2nd Flr BE

Stage Bdy

Lot Bdy

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<35%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

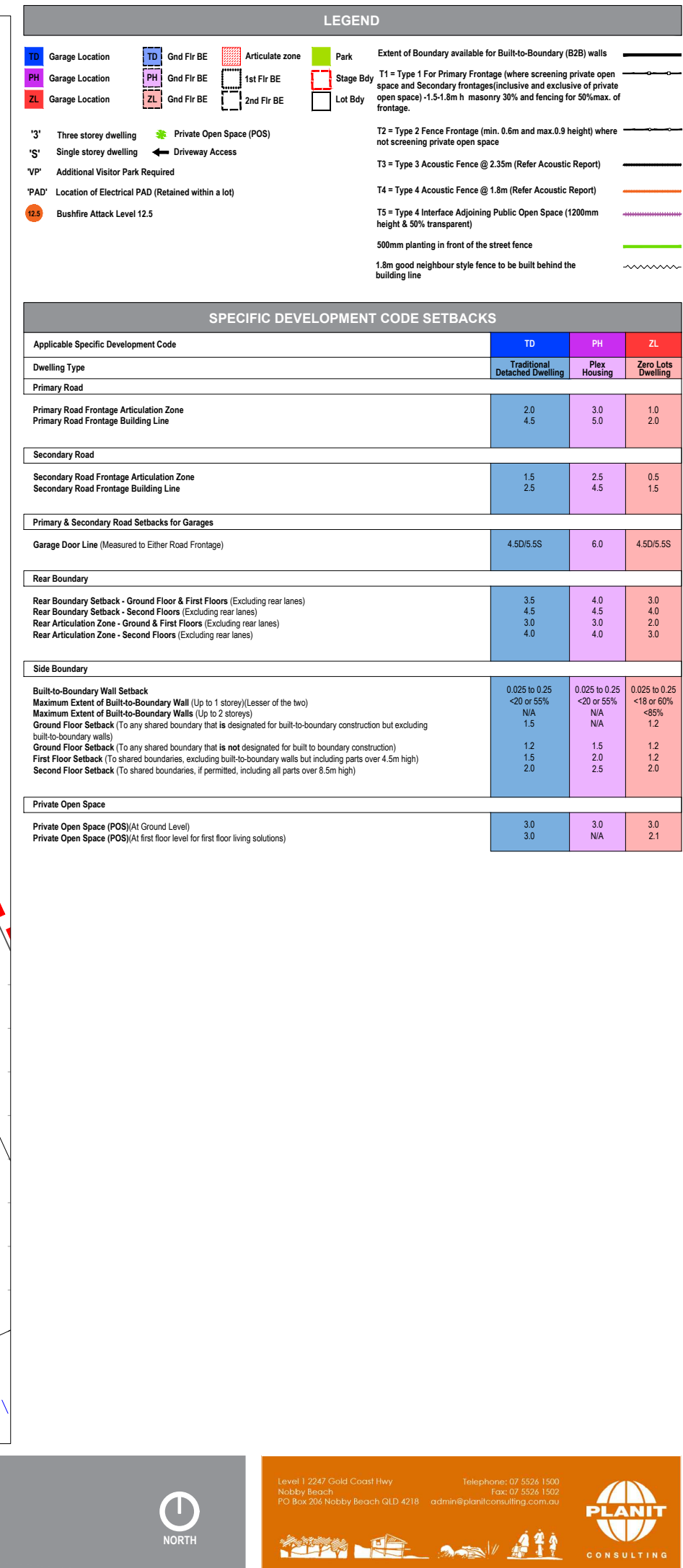
SCALE: 1:750 @ A3 | DA 01.01 STAGE 1 | LOTS 01-20: 48-49

DRAWN: ZP/C
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 02.01 STAGE 2 | LOTS 58-69

DRAWN: ZP/CC
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CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 02.02 STAGE 2 | LOTS 70-83

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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The site plan illustrates the layout of a school campus. At the top, a large area is labeled "SCHOOL 3.33ha". The campus is bounded by "Road 22 | 18.5m wide" on the top and "Road 23 | 14.5m wide" on the bottom. A dashed red line indicates a boundary or path. The buildings are color-coded and labeled as follows:

- PH 94** (Purple): 646m²
- ZL 93** (Red): 435m²
- TD 92** (Blue): 450m²
- ZL 91** (Red): 300m²
- ZL 90** (Red): 300m²
- TD 89** (Blue): 450m²
- TD 88** (Blue): 450m²
- ZL 87** (Red): 401m²
- ZL 86** (Red): 401m²
- TD 85** (Blue): 450m²
- TD 84** (Blue): 450m²

Arrows indicate the flow of traffic or movement between the buildings. Green asterisks are placed along the dashed red line. The surrounding area includes a road labeled "Road 2 | 18.5m wide" and a partially visible road labeled "wide".

TD	Garage Location	TD	Gnd Fir BE		Articulate zone		Park	Extent of Boundary available for Built-to-Boundary (B2B) walls	
PH	Garage Location	PH	Gnd Fir BE		1st Fir BE		Stage Bdy	T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.	
ZL	Garage Location	ZL	Gnd Fir BE		2nd Fir BE		Lot Bdy		
'3'	Three storey dwelling		Private Open Space (POS)					T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space	
'S'	Single storey dwelling		Driveway Access					T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)	
'VP'	Additional Visitor Park Required							T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)	
'PAD'	Location of Electrical PAD (Retained within a lot)							T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)	
12.5	Bushfire Attack Level 12.5							500mm planting in front of the street fence	
								1.8m good neighbour style fence to be built behind the building line	

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	>85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

SCALE: 1:750 @ A3 | DA 03.01 STAGE 3 | LOTS: 85-95

CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017





TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 04.01 STAGE 4 | LOTS: 96-126; 132-141

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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LEGEND

TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 04.02 STAGE 4 | LOTS: 127-131; 142-158

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017

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TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages (inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

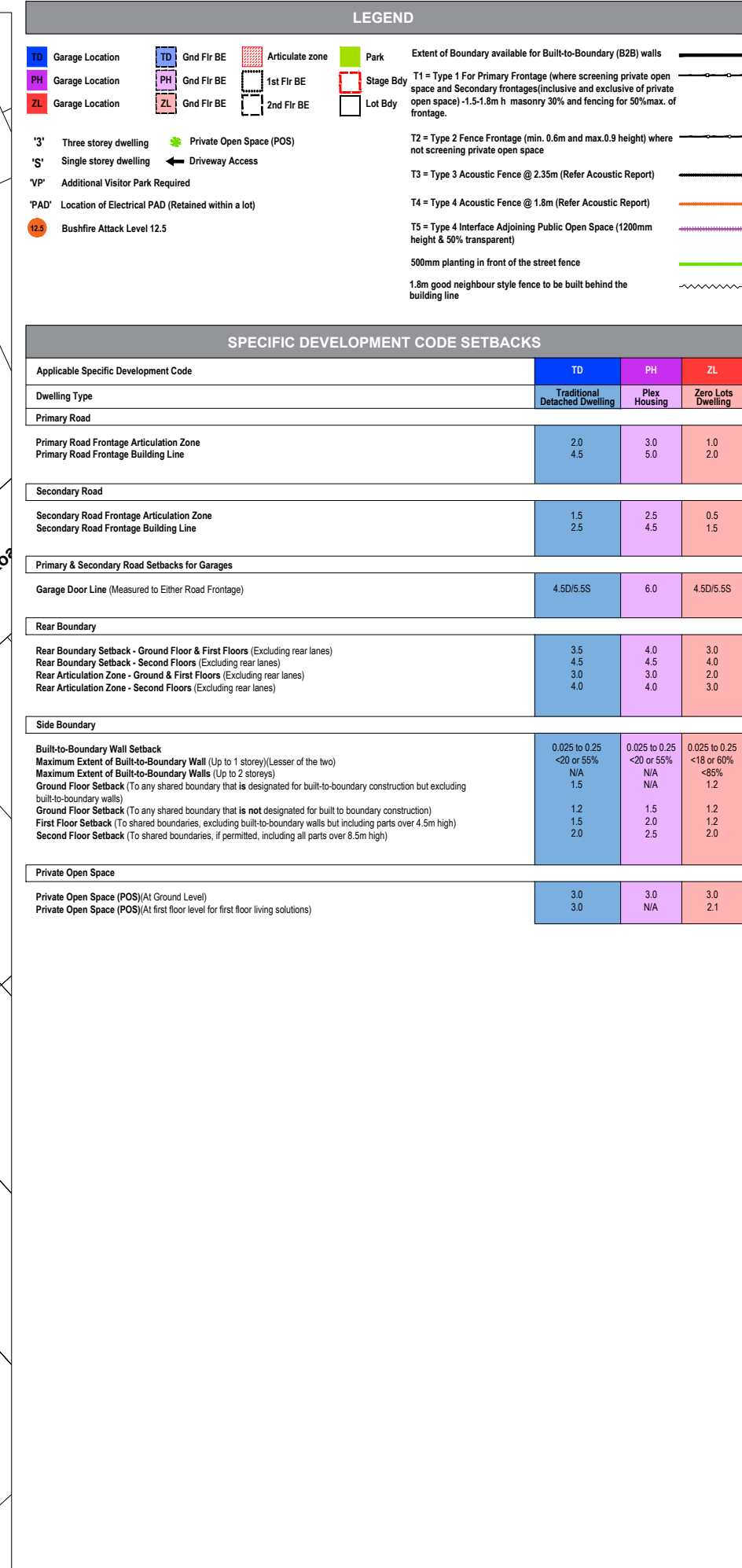
SCALE: 1:750 @ A3 | DA 05.01 STAGE 5 | LOTS : 159-170; 181-184; 193-195

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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DRAWN: ZP/CC **CLIENT:** LEDA DEVELOPMENTS
ISSUE: B **DATE:** NOVEMBER 2017
CHECKED: BS





TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages (inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 06.01 STAGE 6 | LOTS : 196-204; 227-230; 233-240

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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LEGEND

TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 06.02 STAGE 6 | LOTS: 205-226

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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admin@planitconsulting.com.au





TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 07.01 STAGE 7 | LOTS: 241-259; 267-270

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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Telephone: 07 5526 1500
Fax: 07 5526 1502
admin@planitconsulting.com.au





Garage Location

Garage Location

Garage Location

TD

PH

ZL

Gnd Fir BE

Gnd Fir BE

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

'3'

'S'

'VP'

'PAD'

12.5

Three storey dwelling

Single storey dwelling

Additional Visitor Park Required

Location of Electrical PAD (Retained within a lot)

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 07.02 STAGE 7 | LOTS : 260-266; 271-277

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 08.01 STAGE 8 | LOTS: 278-289; 298-305;

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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Garage Location

Garage Location

Garage Location

TD

PH

ZL

Gnd Fir BE

Gnd Fir BE

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

'3'

'S'

'VP'

'PAD'

12.5

Three storey dwelling

Single storey dwelling

Additional Visitor Park Required

Location of Electrical PAD (Retained within a lot)

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 08.02 STAGE 8 | LOTS: 290-297; 304-314; 316-317;

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS

CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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Garage Location

Garage Location

Garage Location

TD

PH

ZL

Gnd Fir BE

Gnd Fir BE

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

'3'

'S'

'VP'

'PAD'

12.5

Three storey dwelling

Single storey dwelling

Additional Visitor Park Required

Location of Electrical PAD (Retained within a lot)

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 09.01 STAGE 9 | LOTS: 318-333; 351-357;

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS

CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017

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LEGEND

TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 09.02 STAGE 9 | LOTS : 334-348

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017

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LEGEND

TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 10.01 STAGE 10 | LOTS : 375-389; 408-415;

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017

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TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

Extent of Boundary available for Built-to-Boundary (B2B) walls

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 10.02 STAGE 10 | LOTS : 358-374; 390-398;

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017



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LEGEND

TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

Extent of Boundary available for Built-to-Boundary (B2B) walls

SPECIFIC DEVELOPMENT CODE SETBACKS			
Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

SCALE: 1:750 @ A3 | DA 10.03 STAGE 10 | LOTS : 399-407; 416-424;

DRAWN: ZP/CC
ISSUE: B
CHECKED: BS
CLIENT: LEDA DEVELOPMENTS
DATE: NOVEMBER 2017

Level 1 2247 Gold Coast Hwy
Nobby Beach
PO Box 206 Nobby Beach QLD 4218
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admin@planitconsulting.com.au



TD

Garage Location

PH

Garage Location

ZL

Garage Location

TD

Gnd Fir BE

PH

Gnd Fir BE

ZL

Gnd Fir BE

Articulate zone

1st Fir BE

2nd Fir BE

Park

Stage Bdy

Lot Bdy

'3'

Three storey dwelling

'S'

Single storey dwelling

'VP'

Additional Visitor Park Required

'PAD'

Location of Electrical PAD (Retained within a lot)

12.5

Bushfire Attack Level 12.5

Private Open Space (POS)

Driveway Access

T1 = Type 1 For Primary Frontage (where screening private open space and Secondary frontages)(inclusive and exclusive of private open space) -1.5-1.8m h masonry 30% and fencing for 50%max. of frontage.

T2 = Type 2 Fence Frontage (min. 0.6m and max.0.9 height) where not screening private open space

T3 = Type 3 Acoustic Fence @ 2.35m (Refer Acoustic Report)

T4 = Type 4 Acoustic Fence @ 1.8m (Refer Acoustic Report)

T5 = Type 4 Interface Adjoining Public Open Space (1200mm height & 50% transparent)

500mm planting in front of the street fence

1.8m good neighbour style fence to be built behind the building line

SPECIFIC DEVELOPMENT CODE SETBACKS

Applicable Specific Development Code	TD	PH	ZL
Dwelling Type	Traditional Detached Dwelling	Plex Housing	Zero Lots Dwelling
Primary Road			
Primary Road Frontage Articulation Zone	2.0	3.0	1.0
Primary Road Frontage Building Line	4.5	5.0	2.0
Secondary Road			
Secondary Road Frontage Articulation Zone	1.5	2.5	0.5
Secondary Road Frontage Building Line	2.5	4.5	1.5
Primary & Secondary Road Setbacks for Garages			
Garage Door Line (Measured to Either Road Frontage)	4.5D/5.5S	6.0	4.5D/5.5S
Rear Boundary			
Rear Boundary Setback - Ground Floor & First Floors (Excluding rear lanes)	3.5	4.0	3.0
Rear Boundary Setback - Second Floors (Excluding rear lanes)	4.5	4.5	4.0
Rear Articulation Zone - Ground & First Floors (Excluding rear lanes)	3.0	3.0	2.0
Rear Articulation Zone - Second Floors (Excluding rear lanes)	4.0	4.0	3.0
Side Boundary			
Built-to-Boundary Wall Setback	0.025 to 0.25	0.025 to 0.25	0.025 to 0.25
Maximum Extent of Built-to-Boundary Wall (Up to 1 storey)(Lesser of the two)	<20 or 55%	<20 or 55%	<18 or 60%
Maximum Extent of Built-to-Boundary Walls (Up to 2 storeys)	N/A	N/A	<85%
Ground Floor Setback (To any shared boundary that is designated for built-to-boundary construction but excluding built-to-boundary walls)	1.5	N/A	1.2
Ground Floor Setback (To any shared boundary that is not designated for built to boundary construction)	1.2	1.5	1.2
First Floor Setback (To shared boundaries, excluding built-to-boundary walls but including parts over 4.5m high)	1.5	2.0	1.2
Second Floor Setback (To shared boundaries, if permitted, including all parts over 8.5m high)	2.0	2.5	2.0
Private Open Space			
Private Open Space (POS)(At Ground Level)	3.0	3.0	3.0
Private Open Space (POS)(At first floor level for first floor living solutions)	3.0	N/A	2.1

PLAN OF DEVELOPMENT: BUILDING ENVELOPES

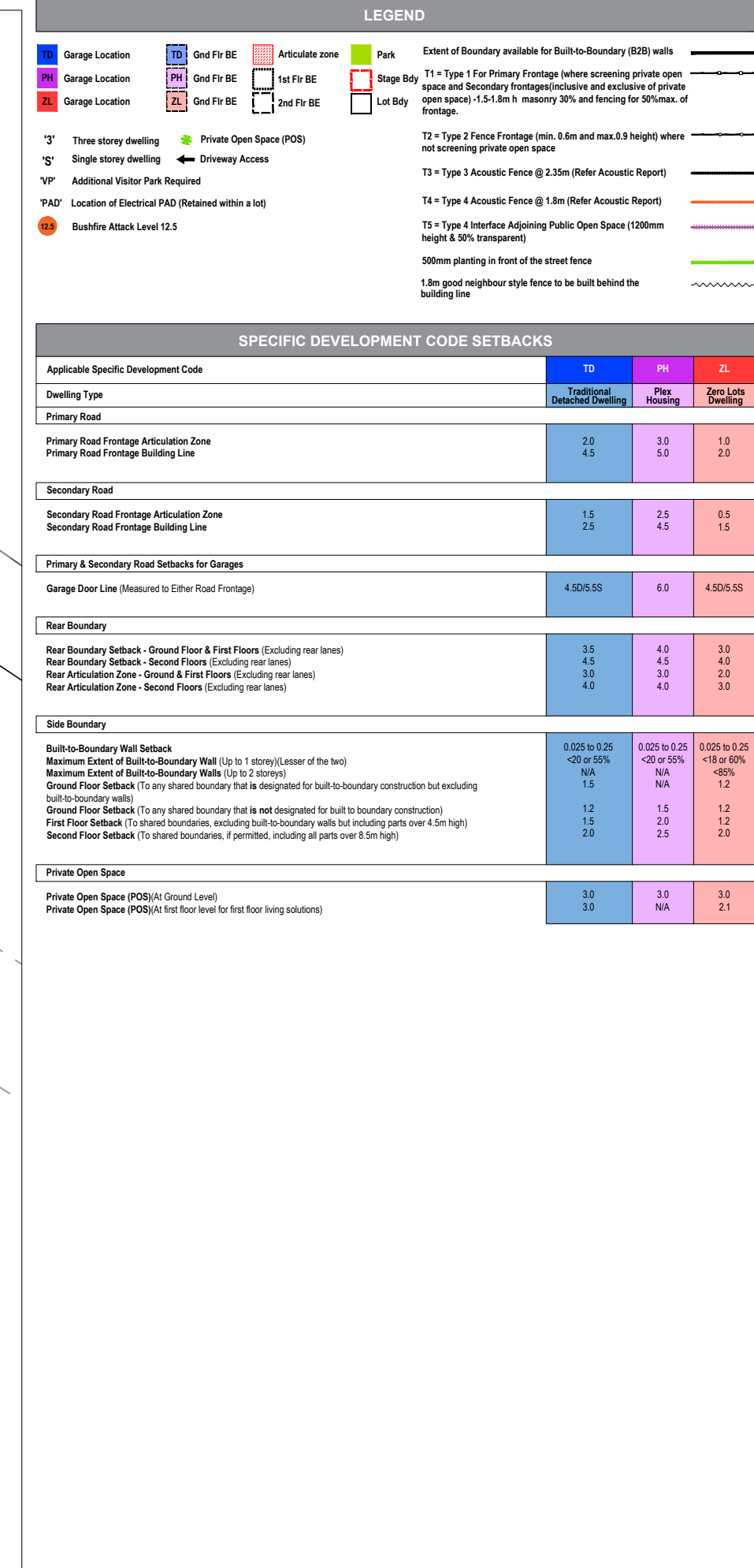
SCALE: 1:750 @ A3 | DA 11.01 STAGE 11 | LOTS : 426-436; 459-470;

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